

LOGAN CITY COUNCIL
APPROVED DOCUMENT
 This is an approved document for Development Application
COM/94/2022/B

Scale 1:2500 - Lengths are in Metres.



NOTES:

Height

- The maximum height of buildings shall be 8.5m to the peak of the roof. Single storey, 4.5m height limit applies to Lots 4001 and 4007-4014.

Setbacks

- Setbacks are as per the Plan of Development Table unless otherwise specified on the plan. Built to boundary walls are optional. The location of the built to boundary walls are indicated on the Plan of Development. Where built to boundary walls are not adopted side setbacks shall be in accordance with the Plan of Development Table. Lots 4020-4033 to have a 1m rear boundary setback. Lots 4007-4014 to have a 2.5m rear boundary setback.
- Setbacks are measured to the outer edge of the wall or balcony. Eaves, hoods, screens and projected architectural elements may extend a maximum of 1 m into the setbacks or to a minimum of 450mm from the boundary, whichever is the lesser. Lot 4001 to have a 2m setback on southern boundary where adjacent to Lot 1082 only.

Parking

- 2 car spaces per dwelling of which both are enclosed.

Private Open Space

- Dwellings with their main living area located at ground level must have a private open space area of at least 25m² with a minimum dimension of 3m, and preferably accessible from the main living area.
- Dwellings with their main living area above ground level must have a private open space area of at least 8m² for 1 bed with a minimum dimension of 2m, 12m² for 2 bed with a minimum dimension of 2.5m, 16m² for 3 bed or greater with a minimum dimension of 3m, and preferably accessible from the main living area.
- Patios and covered outdoor living areas or recreation areas are included in the above private open space requirements.

Fencing

- Fencing to the primary street frontage to be at least 50% transparent and not to exceed 1.2 metres in height.
- Fencing to public open space to be at least 50% transparent and not to exceed 1.8 metres in height.
- Fencing on secondary street frontages to be at least 25% transparent, have a maximum height of 1.8 metres
- Fencing to be a maximum of 1.8m high to all side and rear boundaries.

PLAN OF DEVELOPMENT TABLE

Frontage / width of Lots	12.5m - 13.99m	14.0m - 15.99m	16.0m - 17.99m	18.0m +
Frontage Setback (m)				
Front / Primary Frontage	4.5	4.5	4.5	4.5
Garage	5.5	5.5	5.5	5.5
Side Setback (m)				
Side Boundary (Level 1)	1	1	1	1
Side Boundary (Level 2)	1.5	1.5	2	2
Built to Boundary Wall	0	0	0	0
Corner Lots - Secondary Frontage	2	3	3	3
Rear Setback (m)				
Rear Boundary	2	2	2	2
Park & Open Space	3	3	3	3
Other Requirements				
Built to Boundary Wall				
a. Maximum length	12m	12m	12m	12m
b. Maximum height (Ground floor level only)	3.5m	3.5m	3.5m	3.5m
Site Cover (an additional 10% of site cover is allowed for porches, patios and covered outdoor areas)	60%	60%	50%	50%

Note:

- All setbacks in metres. Lot widths are based on average lot width.
- Lots 4001-4006 vehicular access restricted to 'new road 14' only and this is confirmed as their primary frontage

Building Design

- All homes are to have a window or balcony from a habitable room that faces the street and open space.
- The Garage cannot be the closest part of the home to the street and must be setback at least 1 m behind another part of the home.
- Garages are to have a maximum internal width of 7 metres and be no greater than 50% of the site frontage for lots greater than 14 metres wide.
- A maximum of 1 driveway per dwelling
- Refuse bins are to be located behind the building line and screened from view.
- Carports are only permitted if they are at least 1m behind the building line and 500mm below the peak of the roof.

Lots 4001 - 4006 only

- Dwellings must be oriented to address the primary street frontage;
- Vehicular access is restricted to the primary street frontage only;
- Pedestrian access is permissible from the primary frontage and Riverside Esplanade via the approved stairway only;
- All Dwellings must include at least 1 large window or balcony from a habitable room which faces each street frontage and/or pedestrian laneway to facilitate casual surveillance.
- All Dwellings must present an attractive and well-articulated façade to each street frontage and/or pedestrian laneway. Designs must utilise a variety of colours, materials and roof forms to avoid monotonous facades and contribute to a positive streetscape character.

Lots 4003, 4004 & 4020-4033 only

- Prior to the commencement of any building or construction works within the prescribed lots that encroach on the deeper trunk sewer's zone of influence, submit and gain approval by Council's Logan Water for any proposed buildings or structures in accordance with the conditions of this approval. The applicant shall demonstrate compliance with the Performance Requirements of Queensland Development Code, MP 1.4 - Building over or near relevant infrastructure to the satisfaction of Council. Assessment shall apply to any existing or planned Logan Water infrastructure irrespective of the limitations of MP 1.4.

Definitions

- The secondary frontage of the lot is deemed to be the frontage of the greater dimension or as indicated on the Site Development Plan.
- Site cover is the proportion of the site covered by a building(s), structure(s) attached to the building(s) and carport(s), calculated to the outermost projections (excluding eaves) of the building(s) and expressed as a percentage.

The term does not include:

any structure or part thereof included in a landscaped open space area such as a gazebo or shade structure, and/or sun shading devices.

LEGEND

- STAGE BOUNDARY
- - - - - BUILDING ENVELOPE
- - - - - BUILT TO BOUNDARY LINE
- ~~~~~ NO VEHICULAR ACCESS

Client:

AVJENNINGS
SPV No.20 Pty Ltd

Site Address:

348 - 474 Cusack Lane,
Jimboomba

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Issue	Date	Description	DRN	CHK
H	21/11/23	UPDATE NOTE	TGP	FG
G	07/08/23	SUB-STAGING	SJH	AG
F	31/05/23	EMIT & BODY UPDATE	SJH	AG
E	14/04/23	UPDATE	SJH	FG
D	14/04/23	Note 24, sewer zone	SJH	MG
C	28/02/23	UPDATE LOT 4048	SJH	TG
B	16/01/23	UPDATES	SJH	EDL
A	28/10/22	UPDATED NOTES	SJH	FG
-	20/10/22	ORIGINAL ISSUE	SJH	FG

Scale at A3: 1:2500

Date: 21-11-23

Design: TGP

Drawn: TGP

Checked: FG / EDL

Drawing Title:

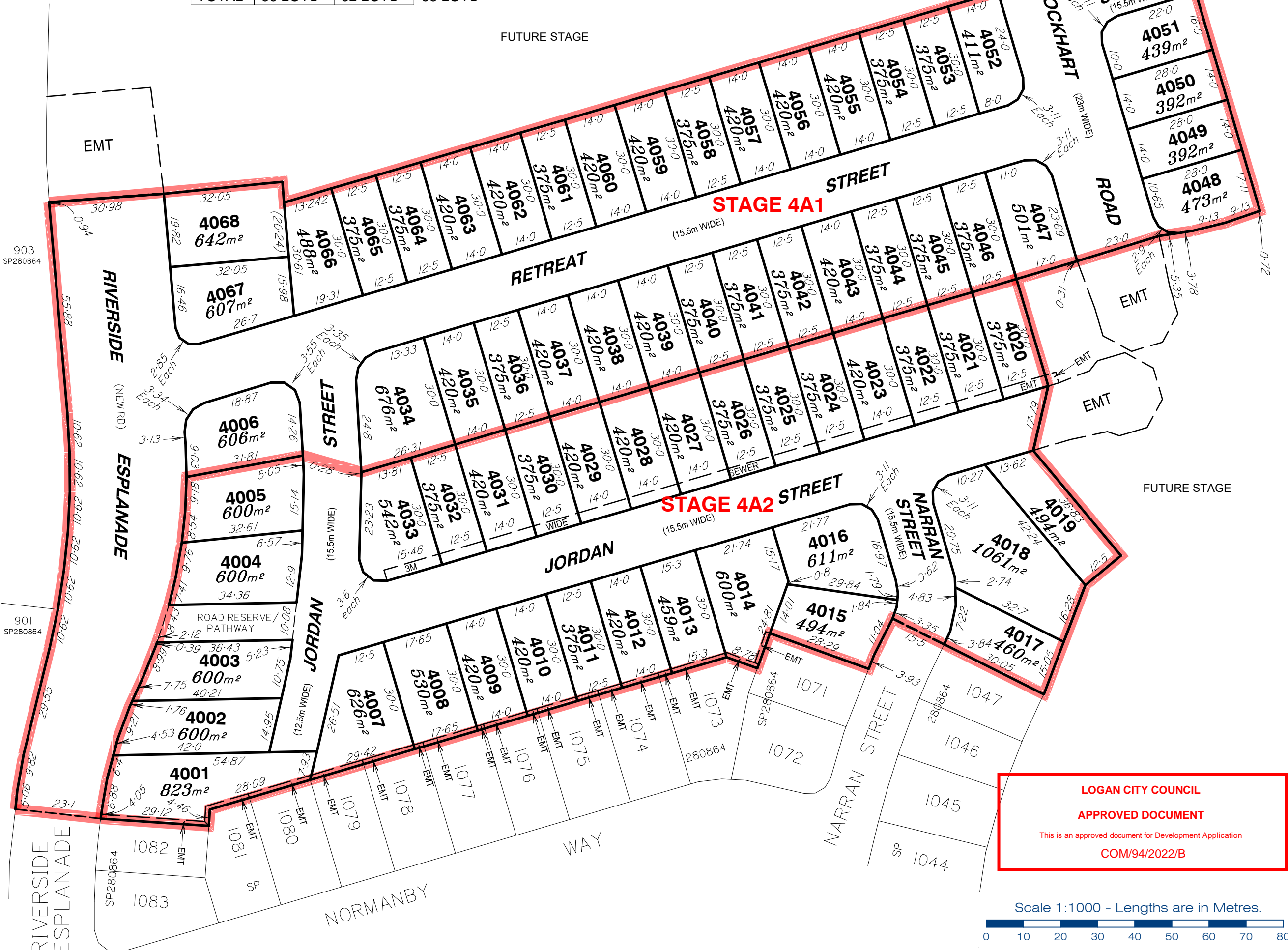
PLAN OF
DEVELOPMENT
STAGE 4A

Drawing No: 5544 P POD STG 4A 001 H Rev. No:



	STAGE 4A1	STAGE 4A2	
12.5m wide lots	14 LOTS	12 LOTS	
14m wide lots	15 LOTS	13 LOTS	
16m wide lots	5 LOTS	3 LOTS	
18m wide lots	2 LOTS	4 LOTS	
TOTAL	36 LOTS	32 LOTS	68 LOTS

FUTURE STAGE



Client:
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Site Address:
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LEGEND

- LIMIT OF SITE
- STAGE BOUNDARY

Issue	Date	Description	DRN	CHK
F	07/08/23	Sub-stage, additional emts	SJH	TG
E	31/05/23	revised lot boundary 4001, 4007 & EMTs	SJH	TG
D	28/02/23	revised lot boundary 4048	SJH	TG
C	10/10/22	adjust Pathway and Lots 4001-4003	SJH	TG
B	28/09/22	adjust Lot truncations	SJH	TG
A	16/09/22	EMT AND PATHWAY	SJH	MG
-	31/08/22	ORIGINAL ISSUE	SJH	MG

Scale at A3: 1:1000

Date: 07-08-23

Design:

Drawn: SJH

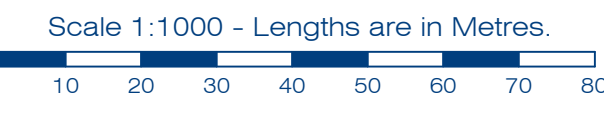
Checked: MG

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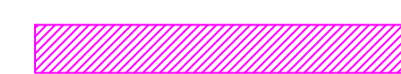



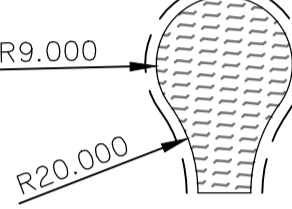

RIVERTON ESTATE
PROPOSED STAGED
RECONFIGURATION OF
LAND - STAGE4A

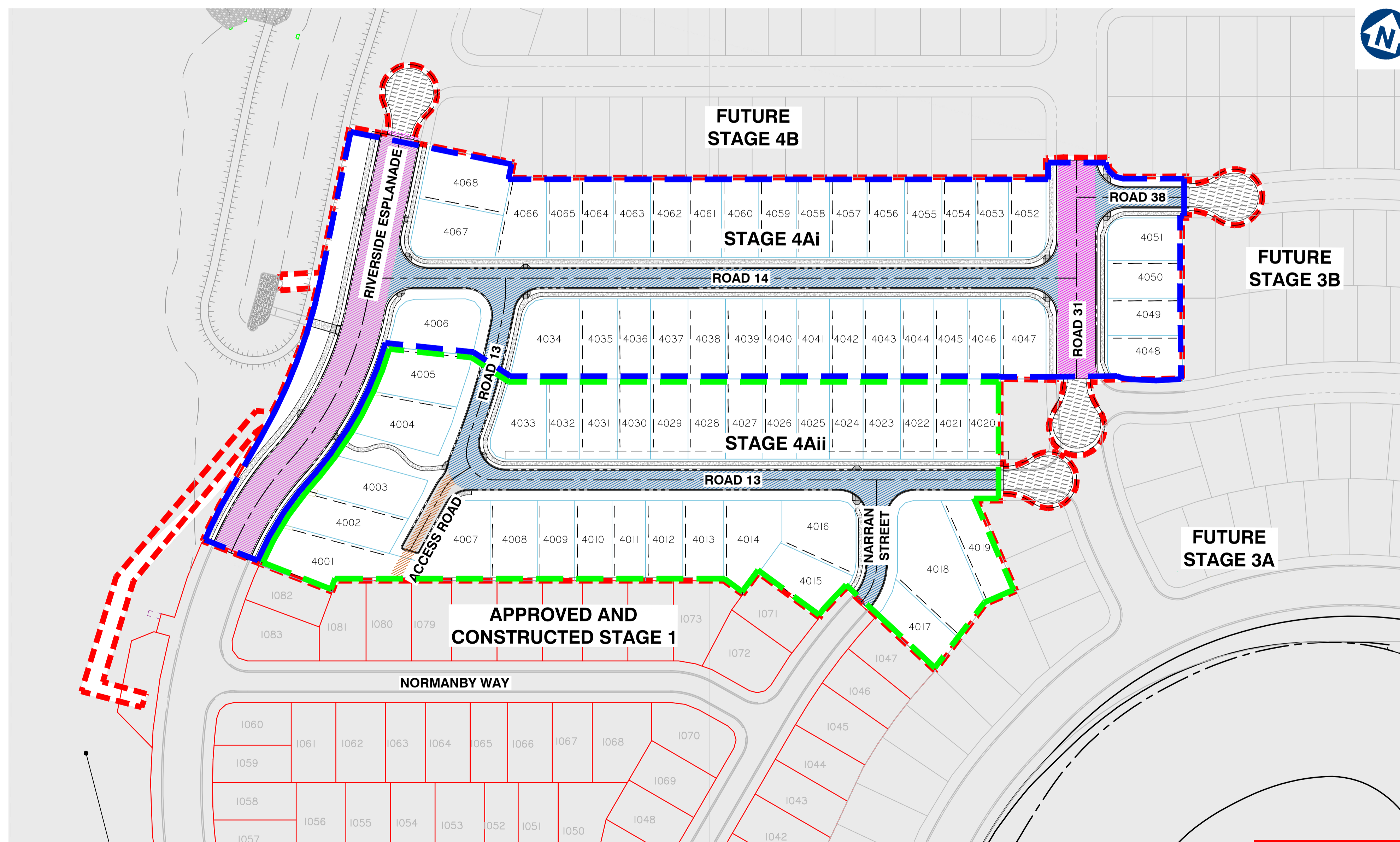
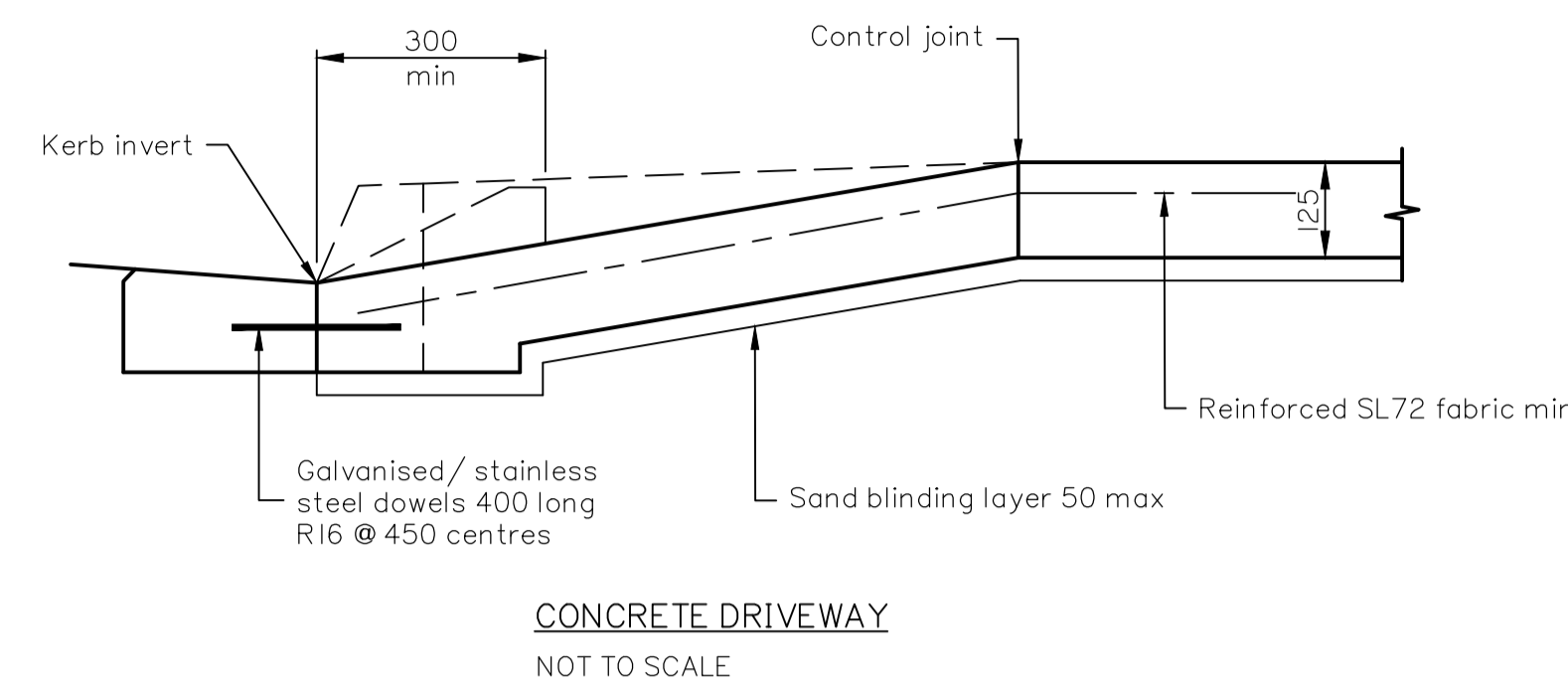
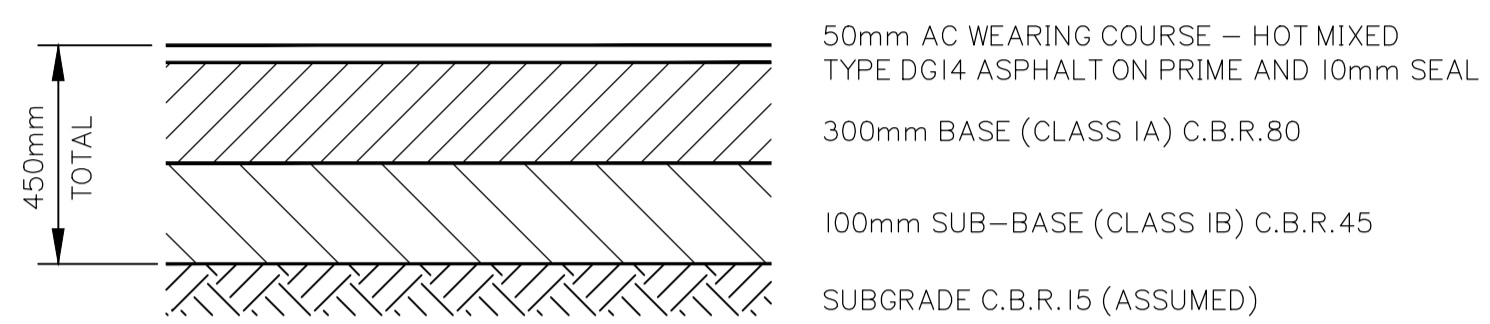
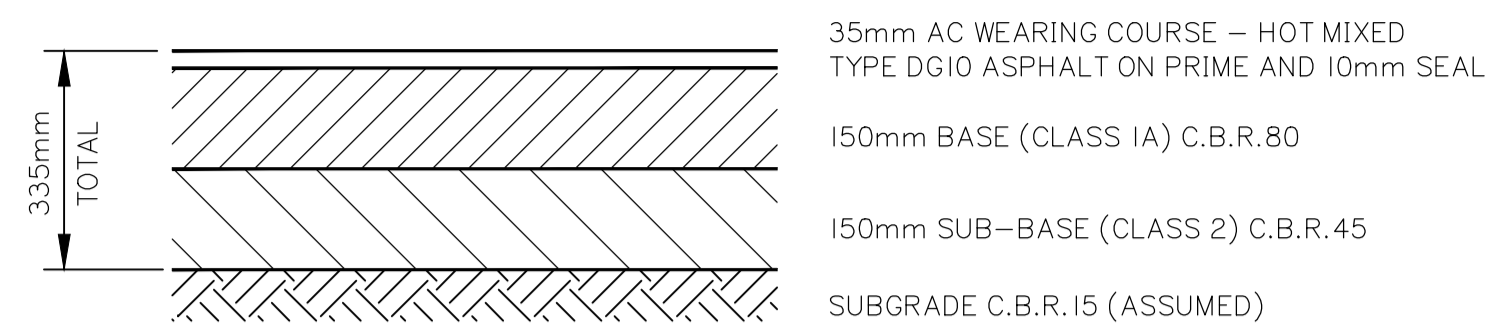
Drawing No: 5544 P STAGE 4A 001 F
 Rev. No:

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LEGEND

-  LCC ALTERNATIVE URBAN ACCESS ROAD – (TWO LANE DIVIDED)
(29.0m ROAD RESERVE, 15.0m PAVEMENT, 6.0m MEDIAN)
-  LCC URBAN COLLECTOR – SINGLE CARRIAGE WAY (UC-2L)
(23.0m ROAD RESERVE, 15.0m PAVEMENT)
-  LCC URBAN ACCESS ROAD –UAR (NON BUS ROUTE)
(15.5m ROAD RESERVE, 7.5m PAVEMENT)
-  LCC URBAN ACCESS ROAD
(6.0m Wide) WITH 12.5m ROAD RESERVE.
-  LCC URBAN ACCESS ROAD –UAR (BUS ROUTE)
(15.5m ROAD RESERVE, 7.5m PAVEMENT)
-  TEMPORARY MANEUVERING AREA AT END OF STAGED WORKS.
PROVIDE 150MM COMPACT CBR80 GRANULAR PAVEMENT WITH PRIME AND TACK COAT SEAL. IN ACCORDANCE WITH LOGAN CITY COUNCIL POLICY 5 SECTION 3.4.4.9.
-  STAGE 4Ai BOUNDARY
-  STAGE 4Aii BOUNDARY



Client:
**AVJENNINGS SPV No. 20
PTY. LTD.**

Project:
**RIVERTON STAGE 4A
OPERATIONAL WORKS**

Site Address:
**348-434 CUSACK LANE
JIMBOOMBA**

RPD:
Lot: 704
Plan: SP280869
Local Authority: Logan City Council
Level Datum: AHD
Meridian: IS260952
PSM: 172620
RL:

**ISSUED FOR
CONSTRUCTION**
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Drawing Title:
**OVERALL ROAD
HEIRARCHY
PLAN**

Rev	Date	Description	DRN	CHK
F	02.08.23	ISSUE FOR CONSTRUCTION	MM	MG
E	21.06.23	ISSUE FOR CONSTRUCTION	MM	MG
D	18.04.23	ISSUE FOR APPROVAL	MM	MG
C	15.03.23	ISSUE FOR APPROVAL	MM	MG
B	16.02.23	ISSUE FOR TENDER	MM	MG
B	09.12.22	ISSUE FOR APPROVAL	MM	MG
A	09.12.22	ORIGINAL ISSUE	MM	MG

DIMENSIONS IN METRES EXCEPT WHERE SHOWN OTHERWISE
CULVERT AND PIPE SIZES IN MILLIMETERS

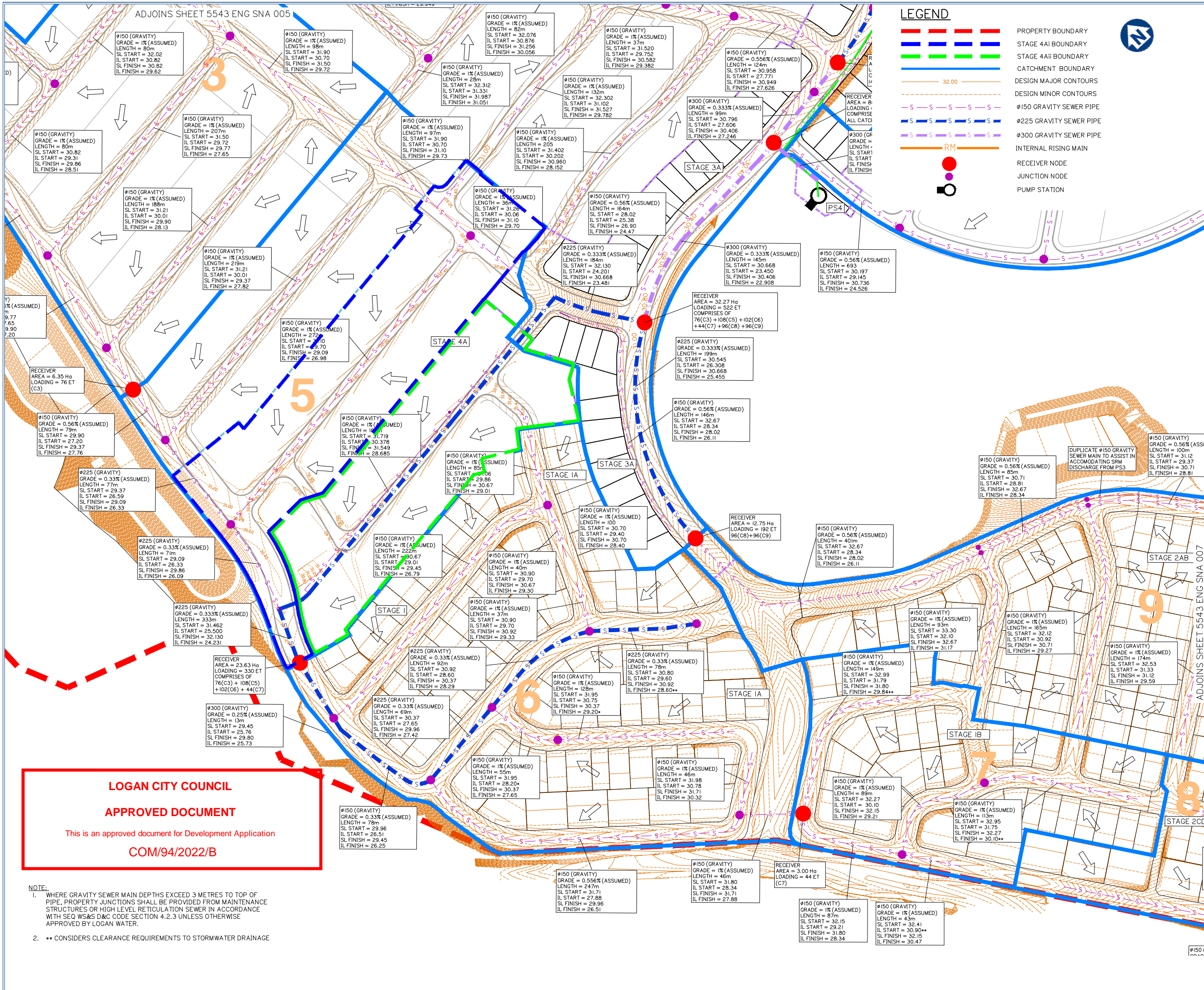
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0 20 40 60 80m
1:1000 (A1) 1:2000 (A3)

PROJECT NORTH POINT


Project No. 5544	Designed: MM	Drafted: TGP
Approved: MG	RPEQ: 16939	Signed: 
Date: 02.08.23	Drawing No: 5544 ENG OPW S04A 007	Revision: F

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OVERALL ROAD HEIRARCHY PLAN



LEGEND

- PROPERTY BOUNDARY
- STAGE 4Ai BOUNDARY
- STAGE 4Aii BOUNDARY
- CATCHMENT BOUNDARY
- DESIGN MAJOR CONTOURS
- DESIGN MINOR CONTOURS
- - - #150 GRAVITY SEWER PIPE
- - - #225 GRAVITY SEWER PIPE
- - - #300 GRAVITY SEWER PIPE
- RM --- INTERNAL RISING MAIN
- RECEIVER NODE
- JUNCTION NODE
- PUMP STATION

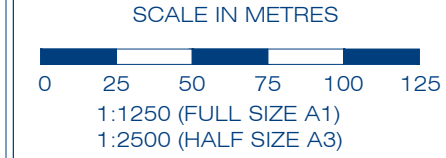
Client: AV Jennings SPV No. 20 Pty. Ltd.
Project: Cusack Lane, Jimboomba
Site Address: 704 CUSACK LANE, JIMBOOMBA
RPD: Lot: 704 Plan: SP280869 Parish: County: LOGAN CITY COUNCIL Local Authority: Level Datum: AHD Meridian: IS260952 Contour Interval: PSM: 172620 RL:

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DRAWING TITLE
CONCEPTUAL SEWER NETWORK PLAN SHEET 04

Issue	Date	Description	DPN	CHK
H	07/08/23	STAGE 4A SUB-STAGING BOY	AR	MG
G	20/04/23	UPDATED SEWER CATCHMENT	AR	MG
F	22/03/23	UPDATED SEWER CATCHMENT	AR	MG
E	24/01/23	UPDATED SEWER CATCHMENT	AR	MG
D	02/12/21	UPDATED SEWER CATCHMENT	LAB	MG
C	22/04/20	ADDED DESIGN CONTOURS	SK	MG
B	19/04/18	UPDATED SEWER CATCHMENT	AN	MG
A	23/12/16	COUNCIL ISSUE	AN	MG



Scale at A1: 1:1250

Designed:	AN
Drafted:	AN
Approved:	MG
RPEQ:	16939
Signed:	<i>[Signature]</i>
Date:	07/08/2023

Drawing No: 5544 ENG SNA 006 Rev. No: F

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NOTE:
1. WHERE GRAVITY SEWER MAIN DEPTHS EXCEED 3 METRES TO TOP OF PIPE, SEPTIC JUNCTIONS SHALL BE PROVIDED FROM MAINTENANCE STRUCTURES OR HIGH LEVEL RETICULATION SEWER IN ACCORDANCE WITH SEQ WS&S D&C CODE SECTION 4.2.3 UNLESS OTHERWISE APPROVED BY LOGAN WATER.
2. ** CONSIDERS CLEARANCE REQUIREMENTS TO STORMWATER DRAINAGE

- LEGEND:**
- - - SITE BOUNDARY
 - - - STAGE 4Ai BOUNDARY
 - - - STAGE 4Aii BOUNDARY
 - W - DN200
 - W - DN150
 - W - DN100
 - W - EXISTING WATER MAIN

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Client:
AVJENNINGS SPV No. 20
PTY. LTD.

Project:
RIVERTON STAGE 4A
OPERATIONAL WORKS

Site Address:
348-434 CUSACK LANE
JIMBOOMBA

RPD:
 Lot: 704
 Plan: SP280869
 Local Authority: Logan City Council
 Level Datum: AHD
 Meridian: IS260952
 PSM: 172620
 RL:

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Drawing Title:
SCHEMATIC
WATER MAIN SIZE
LAYOUT PLAN

Rev	Date	Description	DRN	CHK
B	07.08.23	STAGE 4A SUB-STAGING BOD	MM	MG
A	20.03.23	ORIGINAL ISSUE	MM	MG

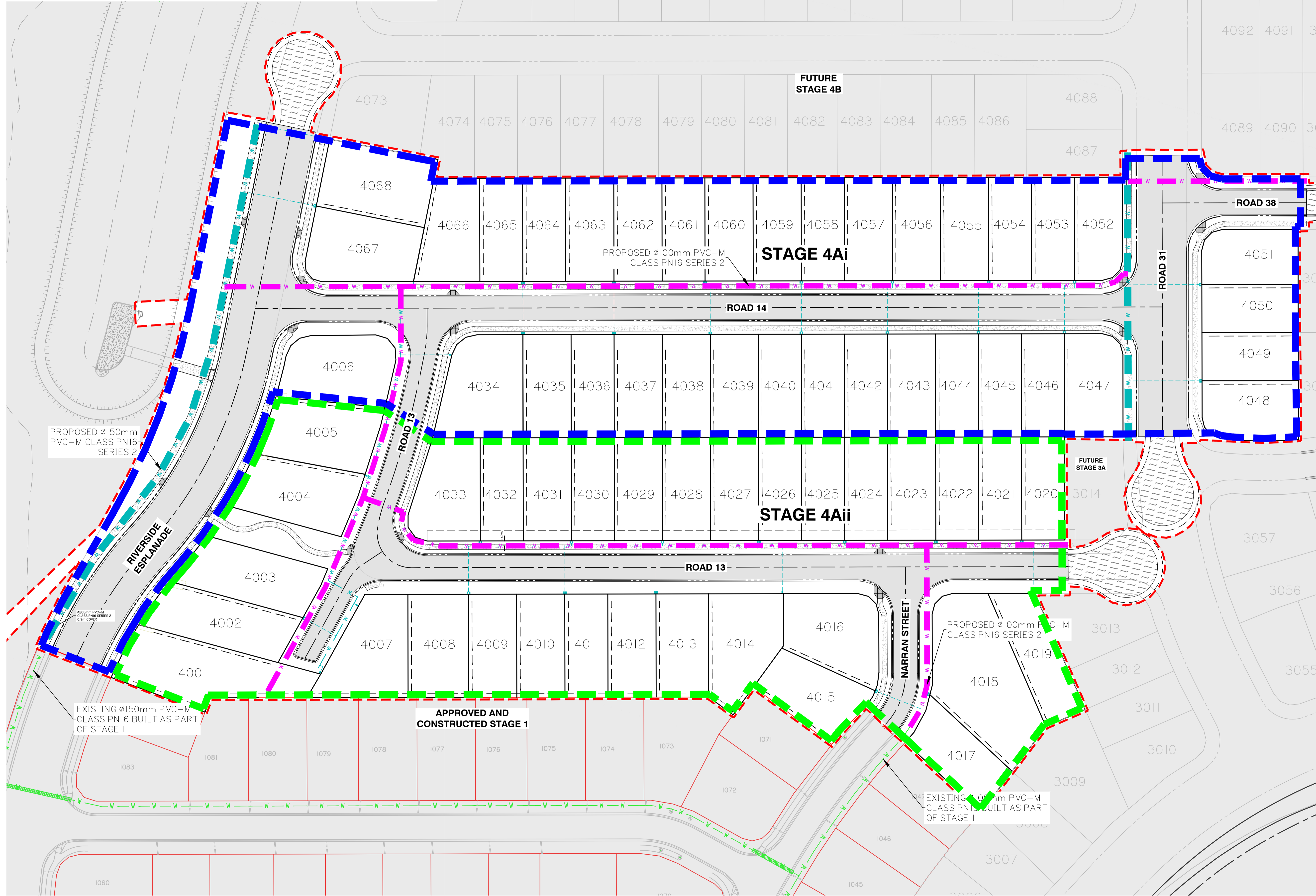
DIMENSIONS IN METRES EXCEPT WHERE
 SHOWN OTHERWISE
 CULVERT AND PIPE SIZES IN MILLIMETERS

Scale:
NOT TO SCALE

PROJECT NORTH POINT



Project No. 5544
 Designed: MM Drafted: MM
 Approved: MG
 RPEQ: 16939
 Signed: *[Signature]*
 Date: 07.08.23
 Drawing No: 5544 ENG SK S04A 020 Revision: B



SCHEMATIC WATER MAIN SIZE LAYOUT PLAN

G:\Projects\5544\ENGINEERING\Acad\Stage 4\Current\OPW SET\5544 ENG SK S04A - 020.dwg

Client:
**AVJENNINGS SPV No. 20
PTY. LTD.**

Project:
**RIVERTON STAGE 4A
OPERATIONAL WORKS**

Site Address:
**348-434 CUSACK LANE
JIMBOOMBA**

RPD:
Lot: 704
Plan: SP280869
Local Authority: Logan City Council
Level Datum: AHD
Meridian: IS260952
PSM: 172620
RL:

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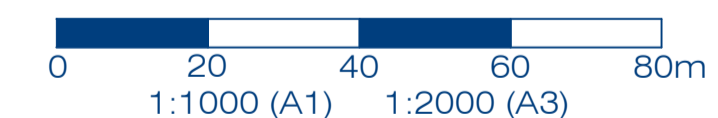
Drawing Title:
**SUBSTAGING TIMING
OF KEY WATER & SEWER
INFRASTRUCTURE**

Rev	Date	DESCRIPTION	MM	MG
A	22.09.23	ORIGINAL ISSUE	MM	MG

DIMENSIONS IN METRES EXCEPT WHERE SHOWN OTHERWISE
CULVERT AND PIPE SIZES IN MILLIMETERS

A1 UNREDUCED
A3 REDUCED

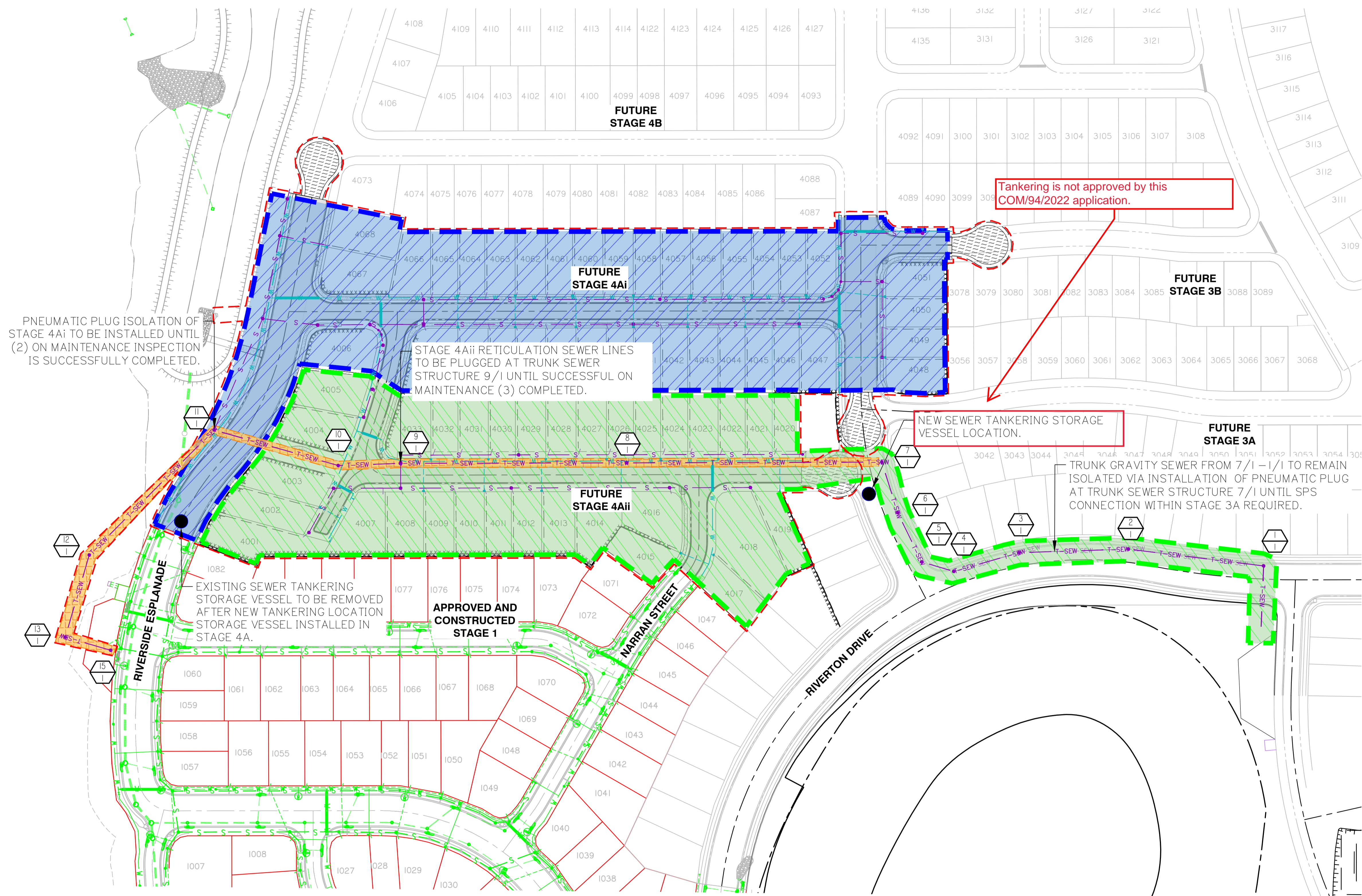
Scale:



PROJECT NORTH POINT



Project No. 5544	
Designed: MM	Drafted: MM
Approved:	MG
RPEQ	16939
Signed:	
Date:	22.09.23
Drawing No. 5544 ENG OPW S04A SK02	Revision A



LEGEND:

- 1. PARTIAL ON MAINTENANCE FOR TRUNK SEWER STRUCTURES 15/1 - 7/1 TO RELOCATE TANKERING LOCATION & STORAGE VESSEL OUTSIDE OF STAGE 4Ai ROADBOX (COMPLETION DATE FOR INSPECTION - 29/09/2023).
- 2. ON MAINTENANCE TO FACILITATE PLAN SEALING ON STAGE 4Ai (COMPLETION DATE FOR INSPECTION BY LOGAN WATER - 26/10/23).
- 3. ON MAINTENANCE TO FACILITATE PLAN SEALING ON STAGE 4Aii (COMPLETION DATE FOR INSPECTION BY LOGAN WATER - 21/12/23).

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NOTE:
PROVIDED LATEST DATES ON
CONSTRUCTION PROGRAM
PREPARED BY SHADFORTH CIVIL.

RIVER TON

JIMBOOMBA

LOGAN CITY COUNCIL

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COM/94/2022/B

STAGE 4A LANDSCAPE INTENT

Prepared by
Gassman Development Perspectives
For AVJennings SPV No. 20 Pty Ltd

LOT 703 on SP280868

AUGUST 2023

CONCEPT PLAN

- LOTS 12.5 - 13.99M
- LOTS 14.00 - 15.99M
- LOTS 16.00 - 17.99M
- LOTS 18.00M +
- STAGE BOUNDARY
- INDICATIVE PEDESTRIAN FOOTPATHS
- TURFED VERGE
- MELALEUCA IRBYANA CORE HABITAT AREA
- MELALEUCA IRBYANA BUFFER
- SILVER & PINK TRUMPET STREET TREE
- WATER GUM STREET TREE
- GOLDEN PENDA STREET TREE
- FLAME TREE STREET TREE
- WEEPING LILLY PILLY STREET TREE
- NORFOLK PINE FEATURE TREE

LOGAN CITY COUNCIL

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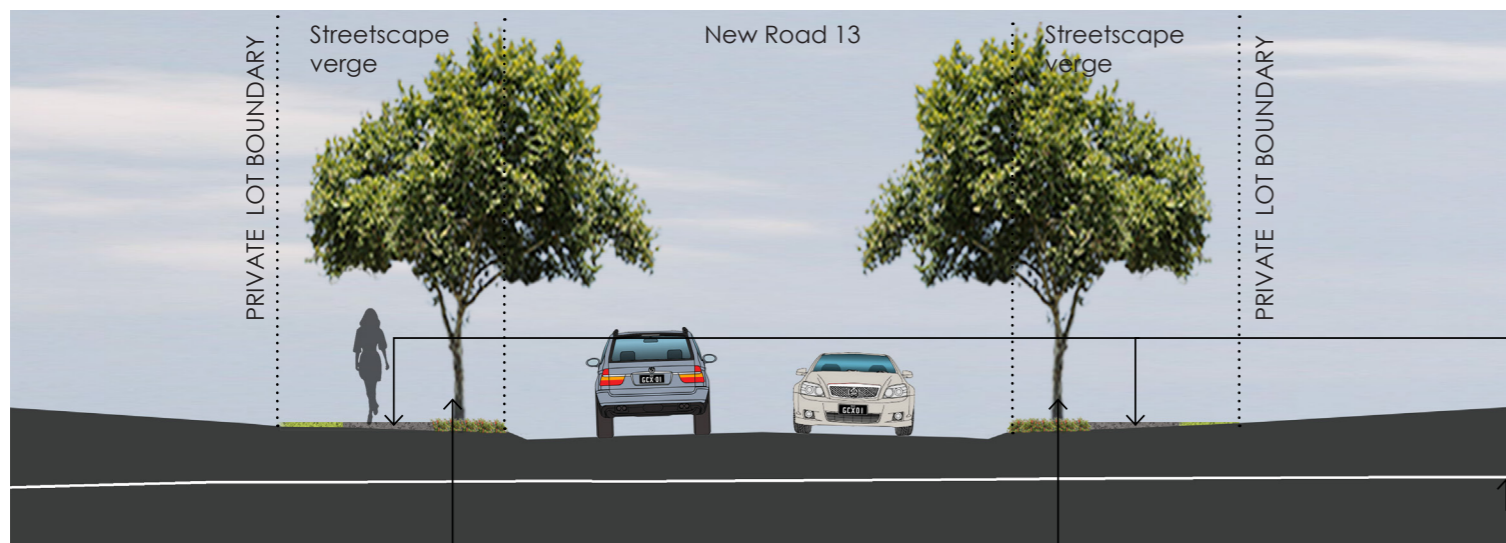
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LANDSCAPE SECTIONS

INDICATIVE SECTION A



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Pedestrian footpath 1.5m wide to LCC standard drawing number 8 00398

Existing ground level

Street tree such as *Tristaniopsis laurina*, *Tabebuia aurea* or *Tabebuia rosea* proposed with groundcover species positioned under

INDICATIVE SECTION B



Layered planting of screening shrubs, shrubs and groundcover species to front of wall

Proposed metal fencing with no less than 50% transparency to private lot positioned above retaining wall.

Proposed retaining wall with high standard of visual appearance by use of textured masonry bricks to private lot boundary. Stair access provided to each lot for access onto Riverton Esplanade.

Existing ground level

Pedestrian footpath 1.5m wide to LCC standard drawing number 8 00398

Street tree such as *Tristaniopsis laurina* or *Araucaria heterophylla* proposed, with groundcover species.



LANDSCAPE SECTIONS

INDICATIVE SECTION C



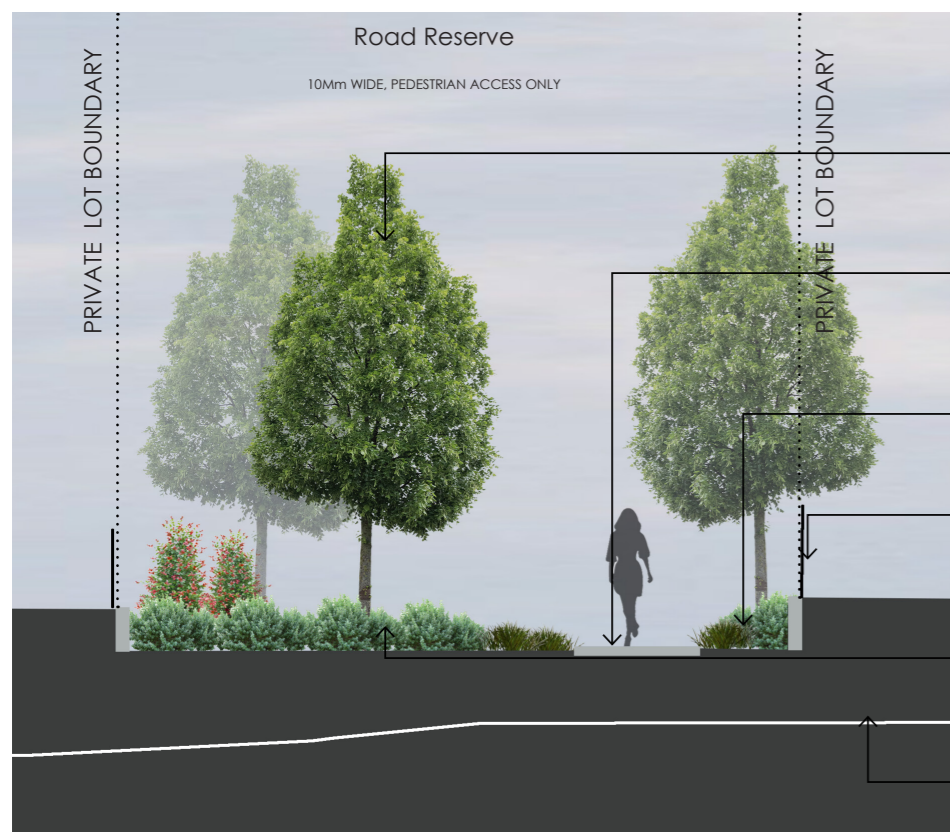
Street tree such as *Tristaniopsis laurina*, *Tabebuia aurea* or *Tabebuia rosea* proposed with groundcover species positioned under

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Pedestrian footpath 1.5m wide to LCC standard drawing number 8 00398

Existing ground level

INDICATIVE SECTION D



Proposed columnar tree species such as *Elaeocarpus eumundi* to be planted

Pedestrian footpath 1.5m wide to LCC standard drawing number 8 00398

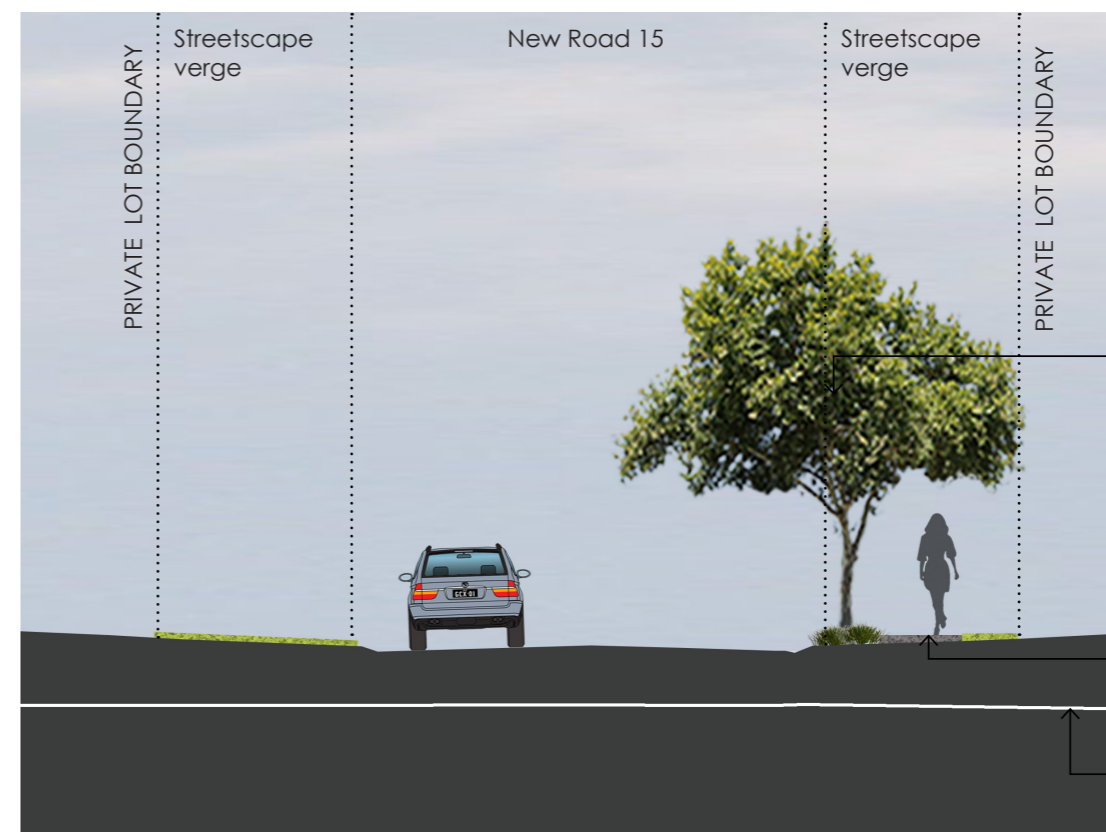
Layered planting of groundcover and shrub species proposed

Proposed retaining wall to private lot boundary. 1.8m metal fencing with no less than 50% transparency to boundary.

Layered planting of groundcover, shrub, screening shrub and columnar tree species proposed

Existing ground level

INDICATIVE SECTION E



Street tree such as *Tristaniopsis laurina*, *Tabebuia aurea* or *Tabebuia rosea* proposed with groundcover species positioned under

Pedestrian footpath 1.5m wide to LCC standard drawing number 8 00398

Existing ground level





Flame Tree
Brachychiton acerifolius



Norfolk Pine
Araucaria heterophylla



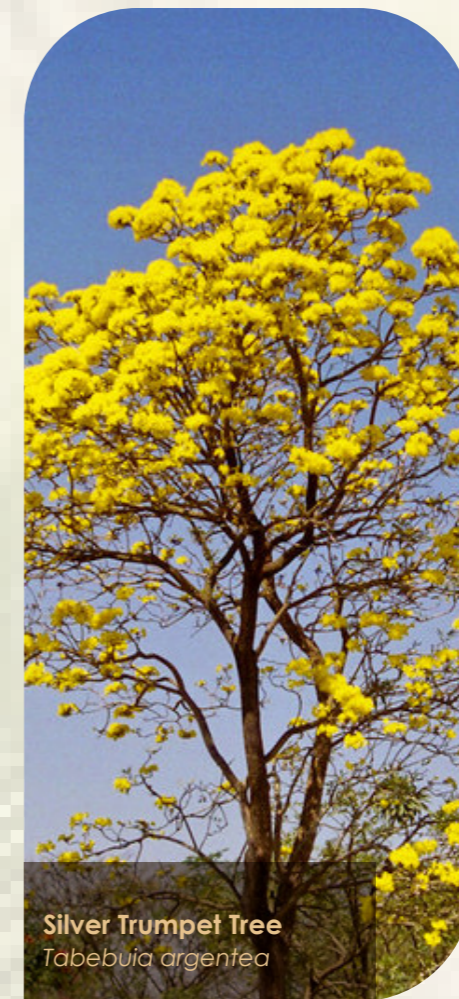
Trumpet Tree
Tabebuia palmeri



Golden Penda
Xanthostemon chrysanthus



Weeping Lilly Pilly
Waterhousea floribunda



Silver Trumpet Tree
Tabebuia argentea



Water Gum
Tristania laurina

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SHRUBS PALETTE

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Banksia
Banksia spinulosa



Xanadu
Philodendron xanadu



Callistemon
Callistemon ptyoides



Grevillea
Grevillea 'Honey Gem'



Shell Ginger
Alpinia variegata



Callistemon
Callistemon citrinus



Grevillea
Grevillea 'Orange Marmalade'



Cordyline
Cordyline 'Green'



Ixora
Ixora coccinea 'White'



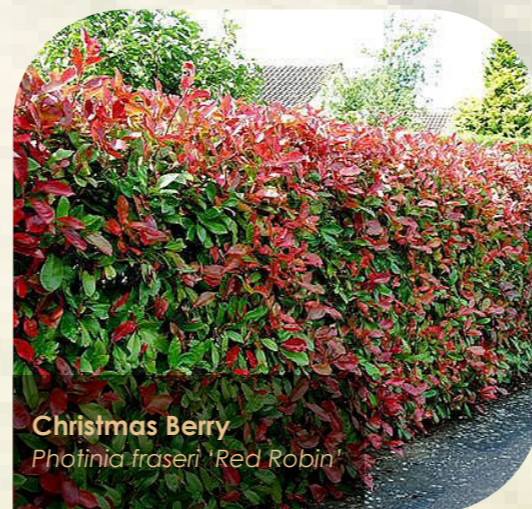
Lilly Pilly
Syzygium australe 'Big red'



Mexican Feather Grass
Nassella tenuissima



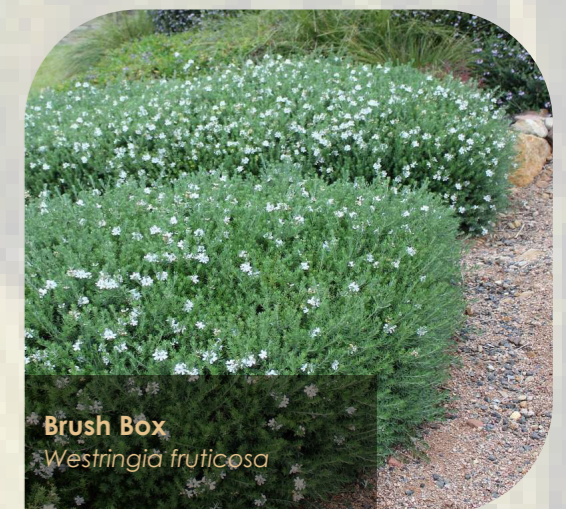
Yellow Buttons
Chrysocephalum apiculatum



Christmas Berry
Photinia fraseri 'Red Robin'



Cardboard Palm
Zamia furfuracea



Brush Box
Westringia fruticosa

GROUNDCOVERS PALETTE

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Spider Lilly
Hymenocallis littoralis



Liriope
Liriope variegata



Pig Face
Carpobrotus glaucescens



Moses in a Cradle
Rhoro discolor



Crackerjack
Lomandra confertifolia



Grevillea
Grevillea 'Firecracker'



Gazania
Gazania rigens 'Orange'



Rock Daisy
Brachysome multifida



Shore Juniper
Juniperus conferta



Heavenly Bamboo
Nandina domestica



Creeping Boobialla
Myoporum parvifolium



Blue Fescue Grass
Festuca glauca



Little Jess
Dianella caerulea



Mondo Grass
Ophiopogon japonicus



Cousin It
Casuarina glauca

WSUD PALETTE

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Blady Grass
Imperata cylindrica



Red Fruited Saw Sedge
Gahnia sieberiana



Couch
Cynodon dactylon



Tall sedge
Carex appressa



Common Rush
Juncus usitatus



Crackerjack
Lomandra confertifolia



Mat Rush
Lomandra hystrix



Mat Rush
Lomandra longifolia



Knobby Club Rush
Isolopis nodosa



Variable Saw Sedge
Lepidosperma laterale



Wild Iris
Dietes grandiflora



Marsh Club Rush
Bolboschoenus caldwellii



Tasman Flax Lilly
Dianella longifolia



Common Tussock Grass
Poa labillardierei



Common Correa
Cyperus reflexus